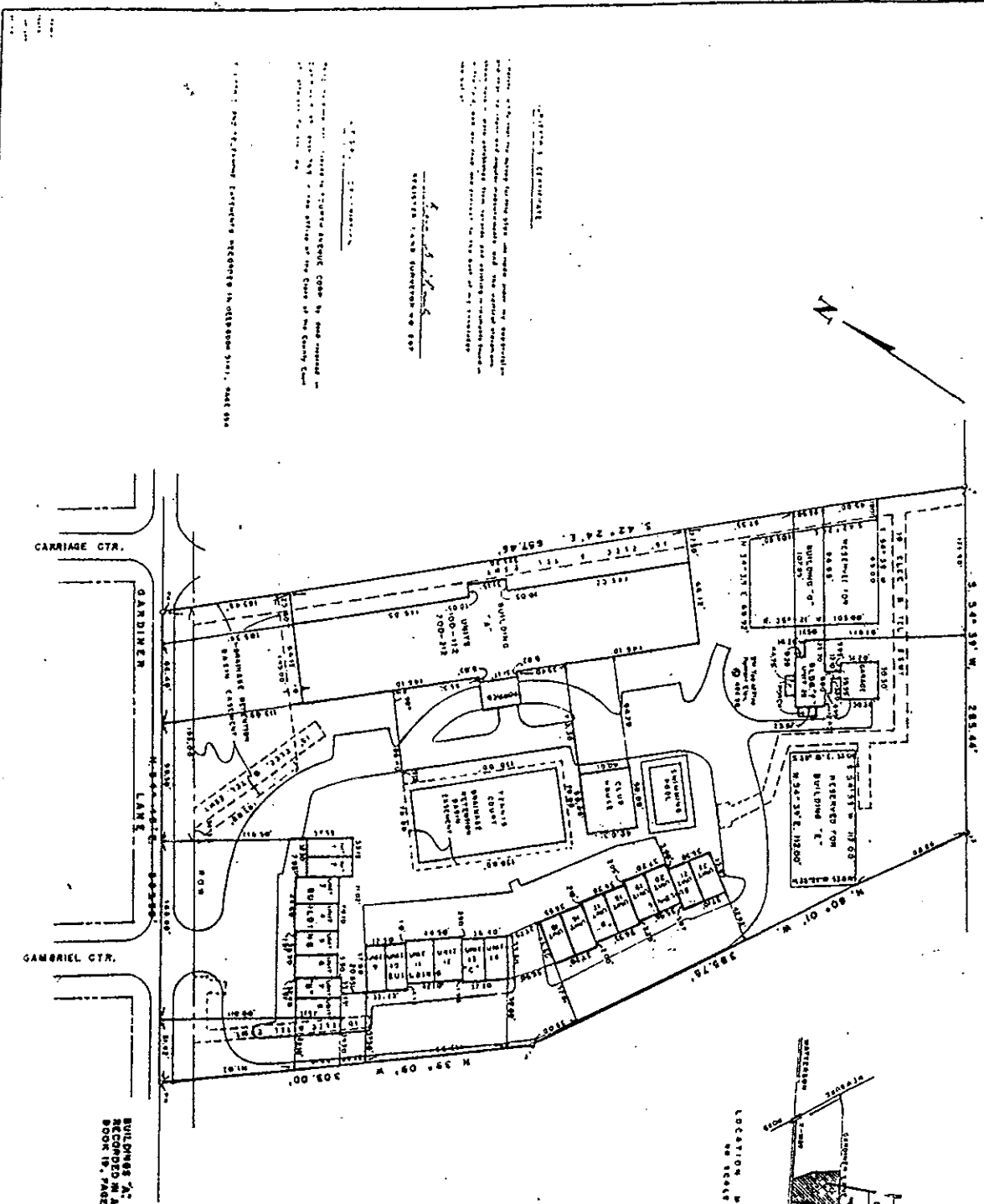


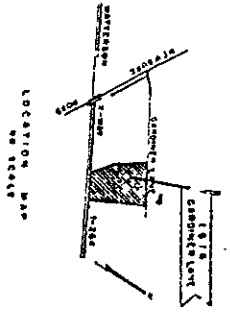
WATTERSON EXPRESSWAY



Professional Engineer
 REGISTERED PROFESSIONAL ENGINEER NO. 809

1918 SARDIS
 LOUISVILLE, KY

SCALE 1/8" = 1'-0"



THE LAN
 GARDINEE
 CONDOMINIUM

1918 SARDIS
 LOUISVILLE, KY

161

BUILDINGS "A", "B", "C" AND "D" ARE
 RECORDED IN PLATMENT OWNERSHIP
 BOOK 19, PAGES 17 AND 18.

OWNER: B D
 FOURTH AV
 328 LINDOLN
 LOUISVILLE

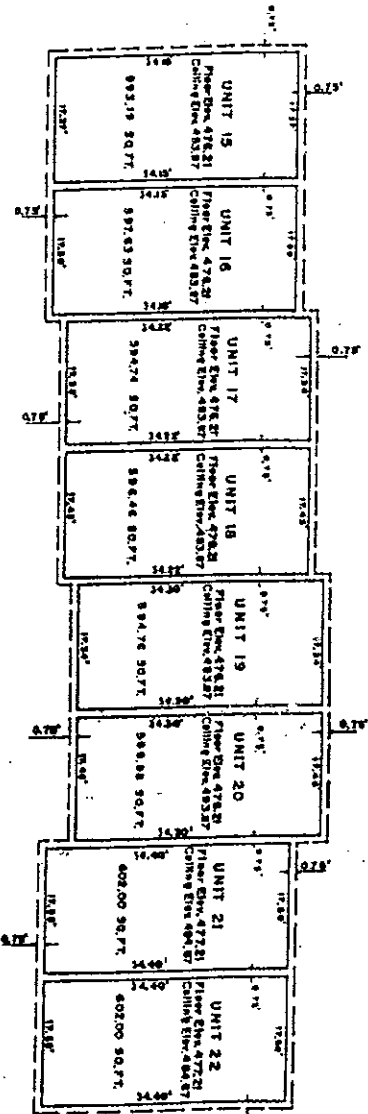
OWNER: B D
 FOURTH AV
 328 LINDOLN
 LOUISVILLE

CONTRACTOR'S STATEMENT

I hereby certify that the above information is true and correct to the best of my knowledge and belief.

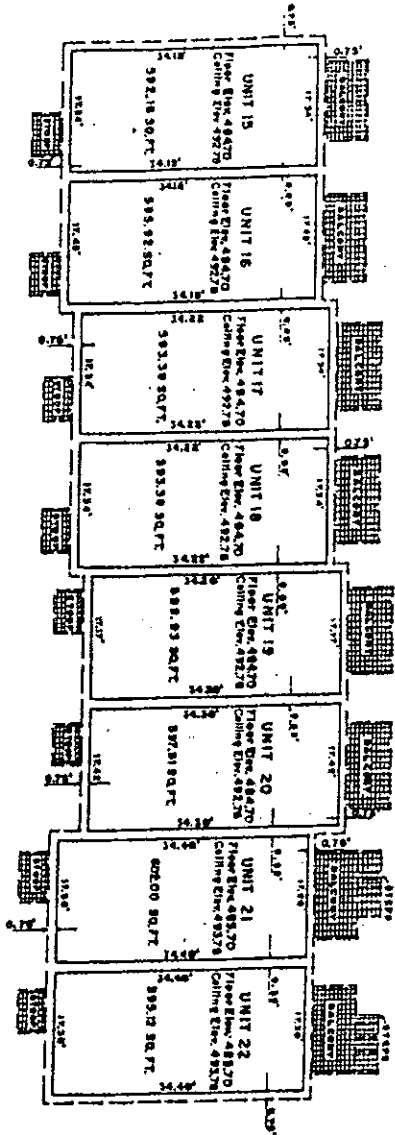
Professional Engineer
 REGISTERED PROFESSIONAL ENGINEER NO. 809

1918 SARDIS
 LOUISVILLE, KY



BASEMENT PLAN

SEE NOTES SHEET 3



FIRST FLOOR PLAN

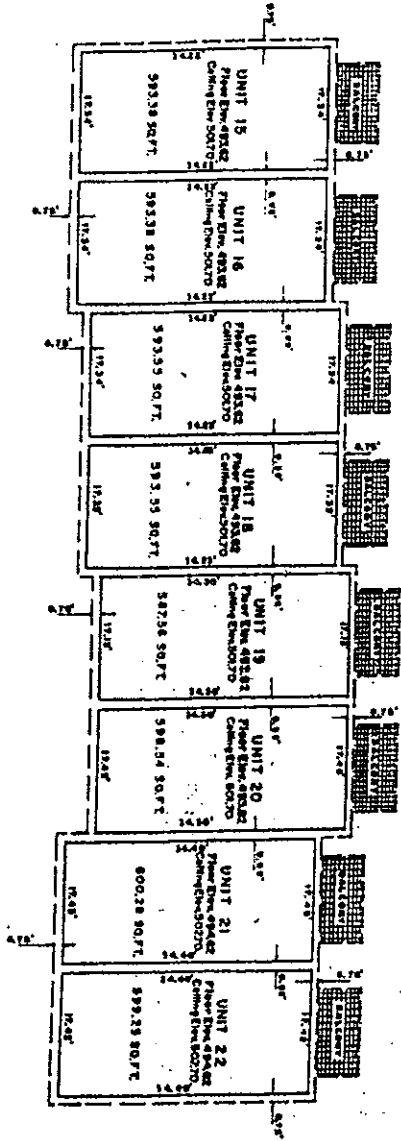
REGISTERED LAND SURVEYOR # 121

BUILDING
 FOURTH B.D.
 FOURTH AV
 386 LINCOLN
 LOUISVILLE

THE LANT
 16

GARDINI
 CONDOVI
 1815 9AM
 LOUISVILLE

DATE: 11/1/80



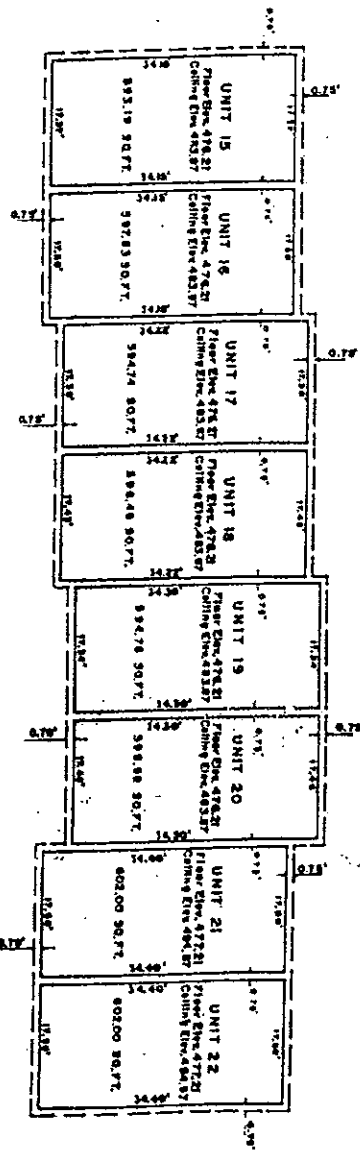
SECOND FLOOR PLAN

NOTES

1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTION OF THE CONDOMINIUM UNIT BOUNDARY LINES SHOWN AND BY THE HORIZONTAL PLANES AT THE FLOOR AND CEILING ELEVATION.
2. ELEVATIONS SHOWN REFLECT ARE BASED UPON U.S.C. & G.S. MEAN LEVEL AND SEVEN YEAR, FLOOR AND CEILING ELEVATIONS ARE REFERRED TO THIS DATA.
3. ALL INTERIOR ANGLES OF CONDOMINIUM UNITS ARE 90° UNLESS OTHERWISE NOTED ON PLAN.
4. LEGEND:
 - BOUNDARY OF CONDOMINIUM UNIT
 - INDICATES COMMON ELEMENTS
 - ▨ INDICATES LIMITED COMMON ELEMENTS

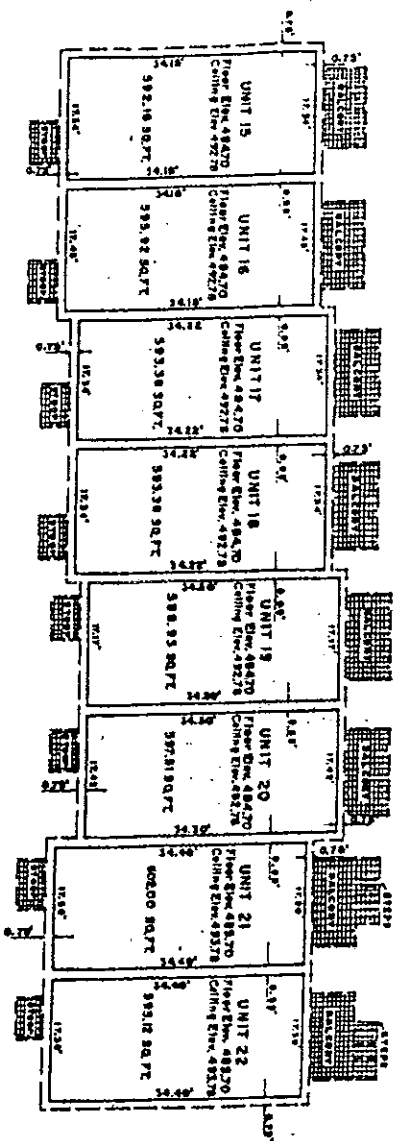
REGISTERED LAND SURVEYOR • 267

BILL
OWNER
FOUR
358 E
LOUIS
THE L
GART
SQ. FT.
1001
1001



BASEMENT PLAN

SEE NOTES SHEET 3



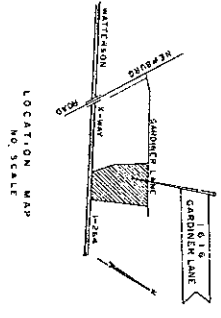
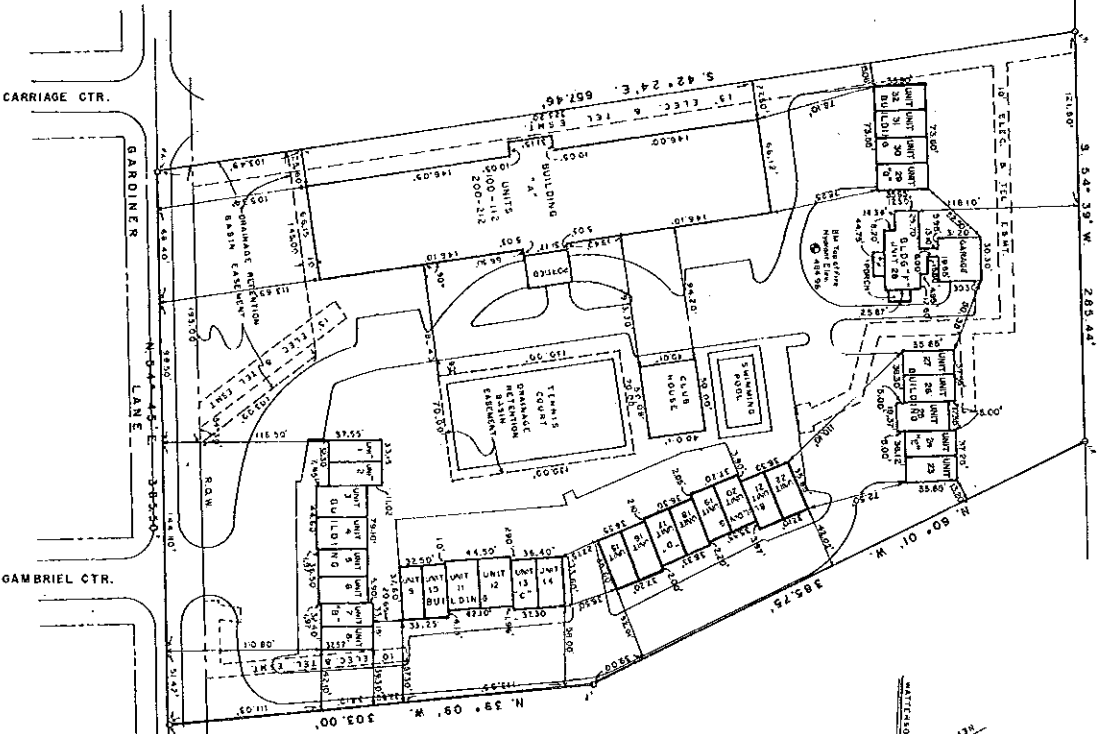
FIRST FLOOR PLAN

REGISTERED LAND SURVEYOR 387

GARI
CON
1914
LOU

BULL
OWN
FOUNT
386 LI
LOUIS
THE I

WATTERSON EXPRESSWAY



I, the undersigned, being duly sworn, certify that the survey for this subdivision was made in accordance with the provisions of the laws of this State and that the plat hereon shown was prepared from accurate and verified measurements in the field, and are true and correct to the best of my knowledge and belief.

[Signature]
REGISTERED LAND SURVEYOR NO. 237

LEGAL DESCRIPTION

Being the same located in FOURTH AVENUE COOP by said record as shown in Book 19, page 269 in the office of the Clerk of the County Court of Jefferson County, Ky.

ELECTRIC AND TELEPHONE COLUMNS RECORDED IN DEED BOOK 204, PAGE 84.

STATEMENT OF INTENTION OF PRIMAIRE DETENTION BATH FACILITY

Owner: FOURTH AVENUE COOP, by *[Signature]*
Engineer's Certificate: *[Signature]*
I hereby certify that this plan complies with the health, fire, and other requirements of the code of this State.

SUBSCRIBED AND SWORN TO, MARCH 19, 1984.

[Signature]
PROFESSIONAL ENGINEER, KY NO. 2977

MY COMMISSION EXPIRES DEC. 31, 1986

[Signature]
NOTARY PUBLIC, JEFFERSON COUNTY, KY

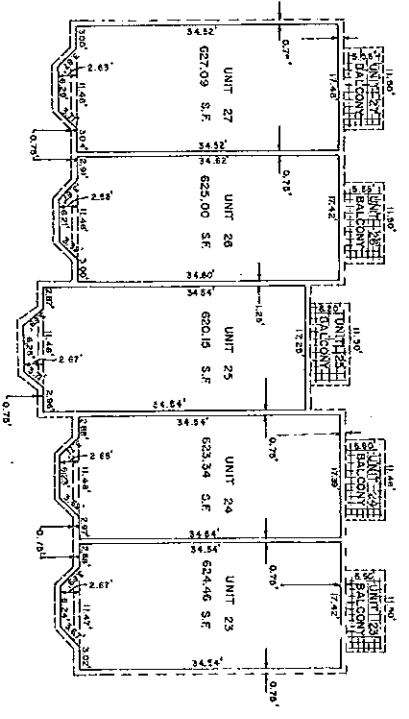
SCALE: 400'-0"=1" DATE: JAN. 23, 1984

BUILDINGS "A", "B", "C" AND "D" ARE RECORDED IN APARTMENT OWNERSHIP BOOK 19, PAGES 1 THRU 6. BUILDING "E" IS RECORDED IN APARTMENT OWNERSHIP BOOK 23 PAGE 31.

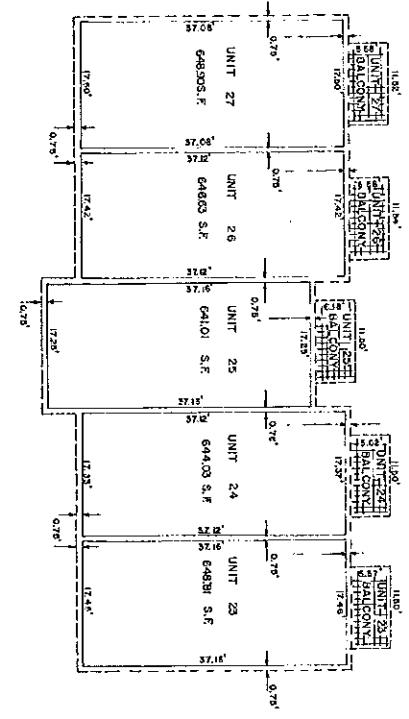
OWNER & DEVELOPER:
FOURTH AVENUE COOP
356 LINCOLN FEDERAL BLDG.
LOUISVILLE, KY. 40202

THE LANTZ COMPANY
Engineers and Landscape Architects
401 UNIVERSITY TOWER
LOUISVILLE, KY. 40202

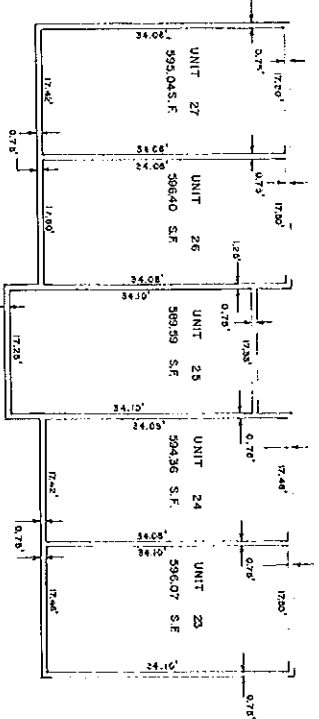
GARDINER LANE
CONDOMINIUM UNITS
1616 GARDINER LANE
LOUISVILLE, KY. 40202



BUILDING E
 FIRST FLOOR
 FLOOR ELEV. 403.39
 CEILING ELEV. 302.03



BUILDING E
 SECOND FLOOR
 FLOOR ELEV. 502.05
 CEILING ELEV. 310.11



BUILDING E
 BASEMENT FLOOR
 FLOOR ELEV. VARIES 488.27 TO 484.92
 CEILING ELEV. 402.08

NOTES

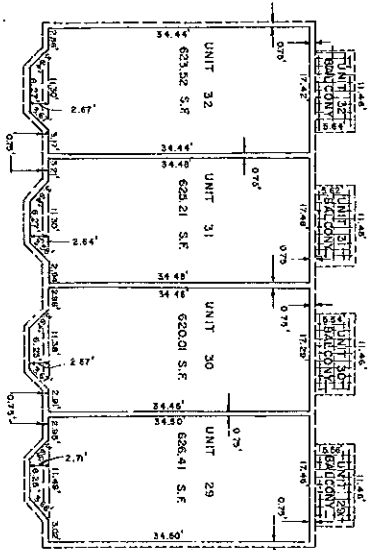
1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUND BY A VERTICAL PROJECTION OF THE COMMON UNIT BOUNDARY AND CEILING ELEVATION.
2. ELEVATIONS SHOWN IN FEET ARE BASED FROM U.S.C.G.S. MEAN LOW WATER, WHICH MEANS FLOOR AND CEILING ELEVATIONS ARE REFERRED TO THIS MEAN.
3. LEGEND:
 - BOUNDARY OF COMMON ELEMENT
 - BOUNDARY OF CONDOMINIUM UNIT
 - INDICATES LIMITED COMMON ELEMENTS



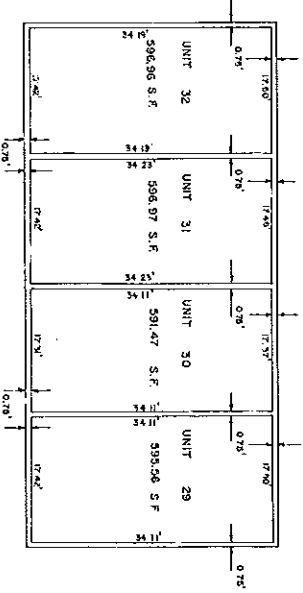
OWNER & DEVELOPER
 FOURTH AVENUE CORP.
 356 LINCOLN FEDERAL BLDG.
 LOUISVILLE, KY. 40202

BUILDING "E"
 THE LANTZ COMPANY
 1616 GARDINER LANE
 CONDOMINIUM UNITS
 1616 GARDINER LANE
 LOUISVILLE, KY. 40205

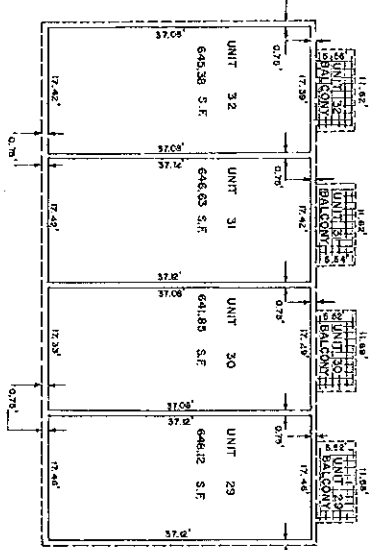
REGISTERED LAND SURVEYOR KY NO. 287



BUILDING G
FIRST FLOOR
FLOOR ELEV. 492.28
CEILING ELEV. 500.86



BUILDING G
BASEMENT
FLOOR ELEV. VARIES 483.01 TO 483.96
CEILING ELEV. 491.71



BUILDING G
SECOND FLOOR
FLOOR ELEV. 501.47
CEILING ELEV. 509.95

NOTES:

1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTION OF THE CONDOMINIUM UNIT BOUNDARY LINES SHOWN AND BY THE HORIZONTAL PLANES AT THE FLOOR AND CEILING ELEVATION.
2. ELEVATIONS SHOWN IN FEET ARE BASED UPON USCGS MEAN LEVEL DATUM, BENCH MARK, FLOOR AND CEILING ELEVATIONS ARE REFERRED TO THIS DATUM.
3. LEGEND:
 - BOUNDARY OF CONDOMINIUM UNIT
 - INDICATES COMMON ELEMENTS
 - INDICATES LIMITED COMMON ELEMENTS

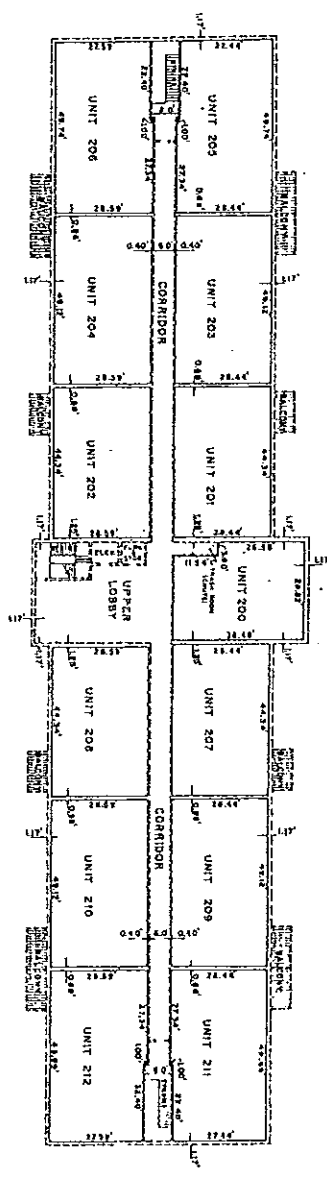


REGISTERED LAND SURVEYOR KY NO 287

OWNER & DEVELOPER
FOURTH AVENUE CORP.
350 LINCOLN FEDERAL BLDG.
LOUISVILLE, KY. 40202

THE IANTZ COMPANY
442 NORTHLICK TOWERS
DUBLIN, KY 40018
1616
GARDINER LANE
CONDOMINIUM UNITS
1616 GARDINER LANE
LOUISVILLE, KY. 40205

SECOND FLOOR PLAN
BUILDING "A"



NOTES.

1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTION OF THE CONDOMINIUM UNIT BOUNDARY LINES SHOWN AND BY THE HORIZONTAL BOUNDARY LINES SHOWN AND BY THE HORIZONTAL BOUNDARY LINES SHOWN AND BY THE HORIZONTAL BOUNDARY LINES SHOWN AND BY THE HORIZONTAL BOUNDARY LINES SHOWN.
2. ELEVATIONS SHOWN IN FEET ARE BASED UPON U.S.C. & G.S. MEAN LEVEL DATUM (FEDERAL MEAN SEA LEVEL).
3. CONDOMINIUM UNITS HAVE THE FOLLOWING ELEVATIONS:
FLOOR ELEVATION: _____
CEILING ELEVATION: _____
4. ALL INTERIOR WALLS OF COMMON UNITS ARE 9" THICK.
5. LEGEND: _____ INDICATES COMMON ELEMENTS.

_____ INDICATES LIMITED COMMON ELEMENTS.
_____ INDICATES LIMITED COMMON ELEMENTS.
_____ INDICATES LIMITED COMMON ELEMENTS.
6. PARKING AND STORAGE SPACES IN BUILDING "A" ARE LIMITED COMMON ELEMENTS.

SCALE:
1" = 3' 0"

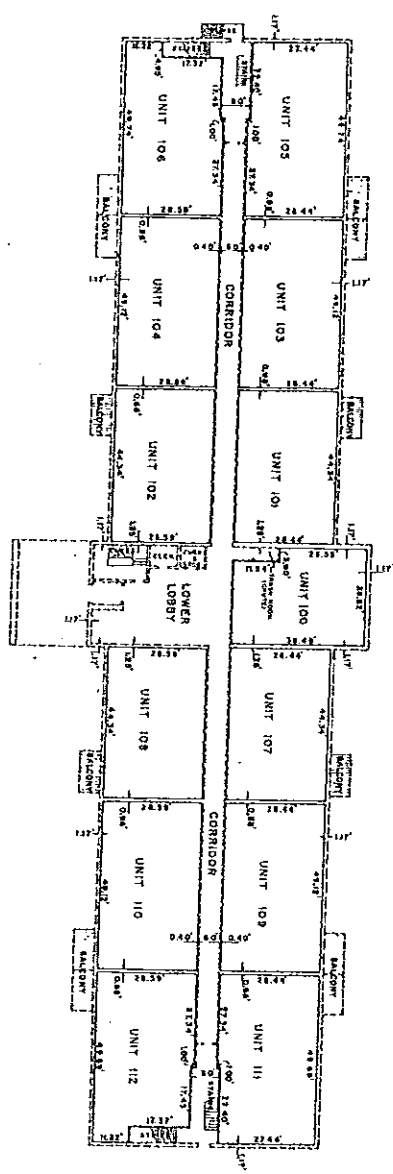
BUILDING "A"

OWNER & DEVELOPER:
FOURTH AVENUE CORP.
304 LINCOLN FEDERAL BLVD.
LOUISVILLE, KY 40202

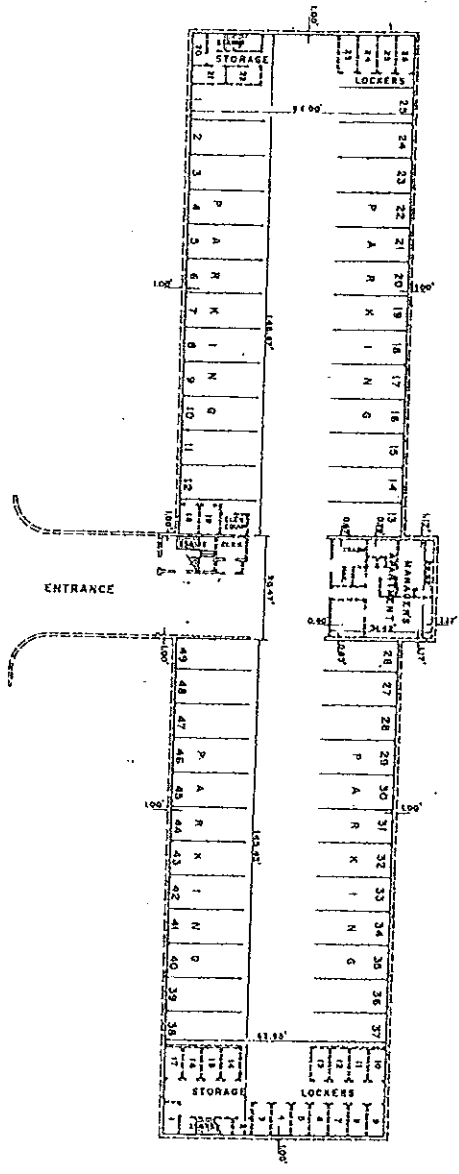
THE LANTZ COMPA
Architects and Engineers
1000 MARKET STREET
LOUISVILLE, KY 40202

1616
GARDNER LANE
CONDOMINIUM UNITS
GARY L. LANTZ
1616 GARDNER LANE
LOUISVILLE, KY 40204

PREPARED BY LANTZ ARCHITECTURE + ASSOCIATES



FIRST FLOOR PLAN
BUILDING "A"



GROUND FLOOR PLAN
BUILDING "A"

NOTES.

1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY THE INTERSECTION OF THE CONDOMINIUM UNIT BOUNDARY LINES SHOWN AND ELEVATION NOTES PLACED AT THE FLOOR AND CEILING ELEVATION NOTES.
2. ELEVATIONS SHOWN IN FEET ARE BASED UPON USE AS A MEAN LEVEL. CEILING, FLOOR, WINDOW, AND CEILING ELEVATIONS ARE REFERRED TO THIS DATUM. AND CEILING FLOOR ELEVATIONS ARE REFERRED TO THIS DATUM. AND CEILING FLOOR ELEVATIONS ARE REFERRED TO THIS DATUM.
3. CONDOMINIUM UNITS HAVE THE FOLLOWING ELEVATIONS:
FLOOR ELEVATION: 40.00'
CEILING ELEVATION: 40.00'
PARKING GARAGE FLOOR ELEVATION: 40.00'
CEILING ELEVATION: 40.00'
4. ALL INTERIOR ANGLES OF CONDOMINIUM UNITS ARE 90° UNLESS OTHERWISE NOTED ON PLAN.
5. LEGEND:
BOUNDARY OF CONDOMINIUM UNIT
LIMITED COMMON ELEMENTS
PARKING AND STORAGE SPACES IN BUILDING "A" ARE LIMITED COMMON ELEMENTS.

BUILDING "A"

OWNER & DEVELOPER
FOURTH AVENUE COH
356 LINCOLN FESTIVAL BL.
LOUISVILLE, KY 40202

THE LANTZ COMP

1616

GARD LANE
COND. 2 UNITS

SCALE: 1/8" = 1'-0"

DATE: 3.14.84

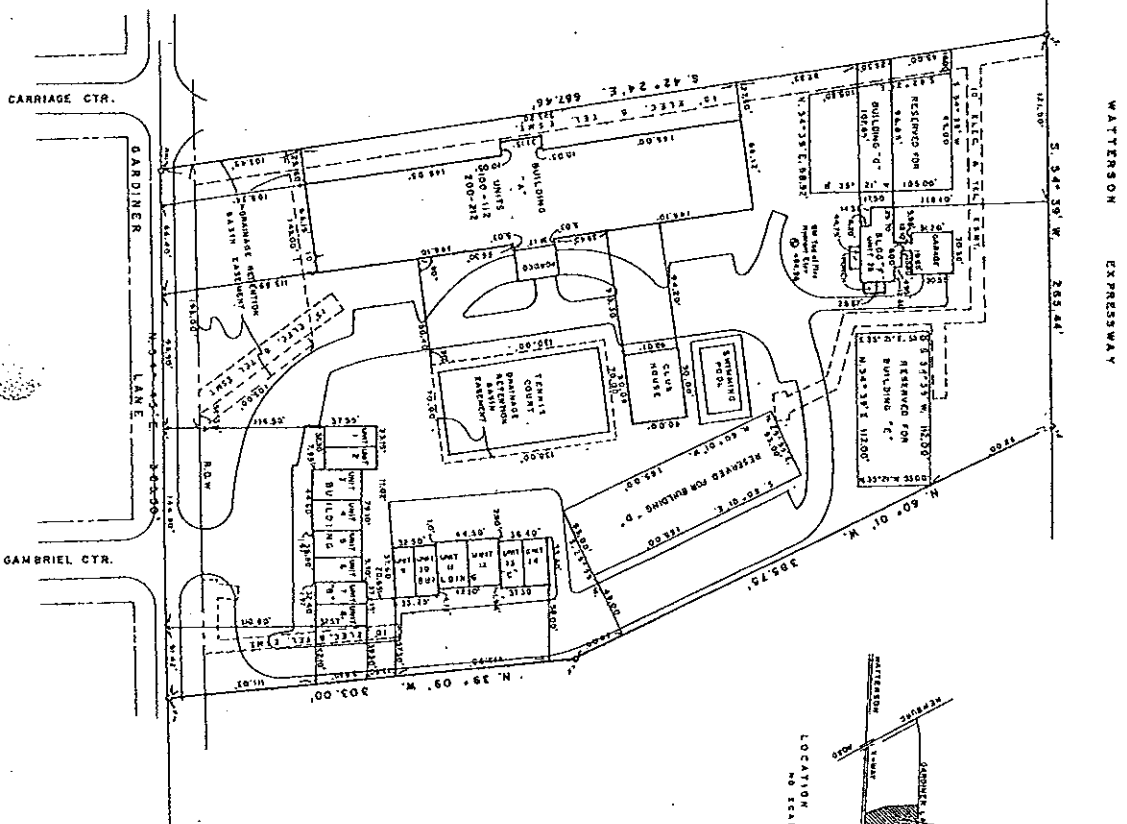
1. I hereby certify that the survey for this plan was made under my supervision and that the ground and improvements thereon were as shown on the plan and that the same are in accordance with the provisions of the Act of the Legislature of the State of Missouri, approved March 24, 1925, in the office of the Clerk of the County Court of Jefferson County, Mo.

LEGAL DESCRIPTION

RESERVE LAND RESERVATION NO. 217

OWNER'S CERTIFICATE

I hereby certify that the survey for this plan was made under my supervision and that the ground and improvements thereon were as shown on the plan and that the same are in accordance with the provisions of the Act of the Legislature of the State of Missouri, approved March 24, 1925, in the office of the Clerk of the County Court of Jefferson County, Mo.

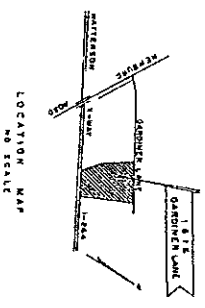


WATERSON EXPRESSWAY

CARRIAGE CTR.

GARDNER LANE

GAMBRIEL CTR.



LOCATION MAP
NO SCALE

CERTIFICATE OF RESERVATION OF EMINENT DOMAIN - EMINENT DOMAIN

Reservor for ground and building required for the purpose of and under the laws and authority of the State of Missouri, approved March 24, 1925, in the office of the Clerk of the County Court of Jefferson County, Mo. I hereby certify that the survey for this plan was made under my supervision and that the ground and improvements thereon were as shown on the plan and that the same are in accordance with the provisions of the Act of the Legislature of the State of Missouri, approved March 24, 1925, in the office of the Clerk of the County Court of Jefferson County, Mo.

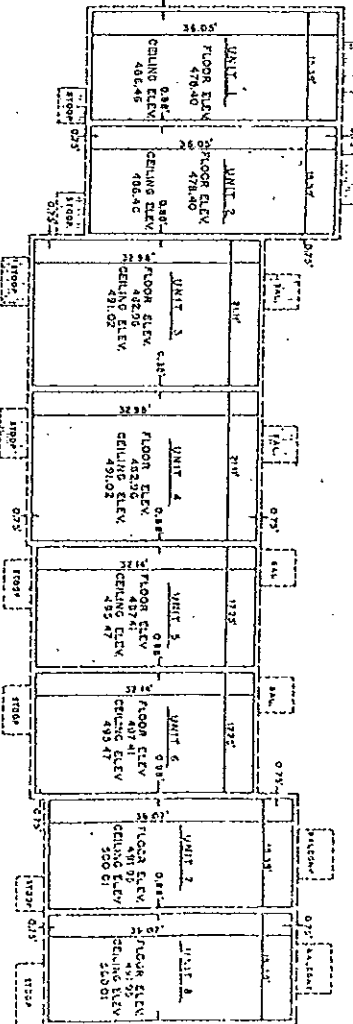
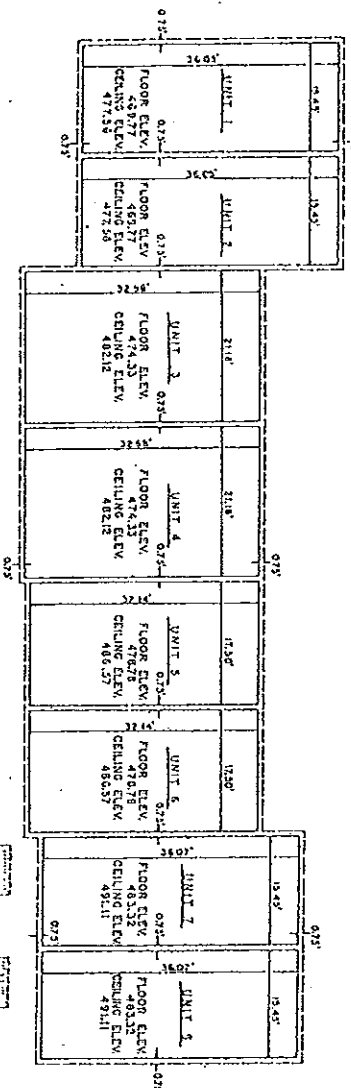
PROFESSIONAL ENGINEER, CIVIL ENGINEER
OF COMMISSION EXPIRES JULY 8, 1932

SCALE: 1" = 20' DATE: MAR 24, 1930

THE LANTZ COMPANY

1616

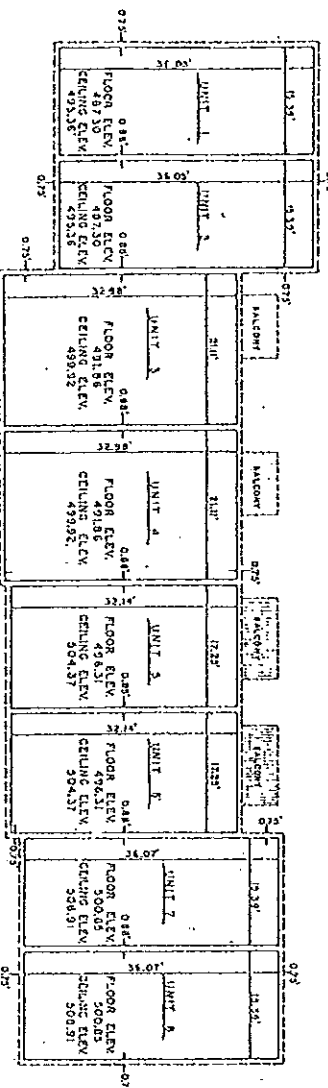
GARDNER LANE
COND. UNITS



NOTES

1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTION OF THE CONDOMINIUM WALLS AND A VERTICAL PROJECTION OF THE CONDOMINIUM FLOOR AND CEILING ELEVATION NOTED BELOW.
2. ELEVATIONS SHOWN IN FEET ARE BASED UPON U.S.C.G.S. ELEVATIONS AND REFERRED TO THIS GROUND SURFACE.
3. CONDOMINIUM UNITS HAVE THE FOLLOWING ELEVATIONS:
UNIT 1 THROUGH 7 FLOOR ELEVATION 457.25' CEILING ELEVATION 455.47'
UNIT 8 THROUGH 10 FLOOR ELEVATION 457.25' CEILING ELEVATION 455.47'
4. ALL INTERIOR ANGLES OF CONDOMINIUM UNITS ARE 90° UNLESS OTHERWISE NOTED ON PLANS.
5. LEGEND:
--- BOUNDARY OF CONDOMINIUM UNIT
--- INDICATES COMMON ELEMENTS
--- INDICATES LIMITED COMMON ELEMENTS

SECOND FLOOR PLAN
BUILDING "B"

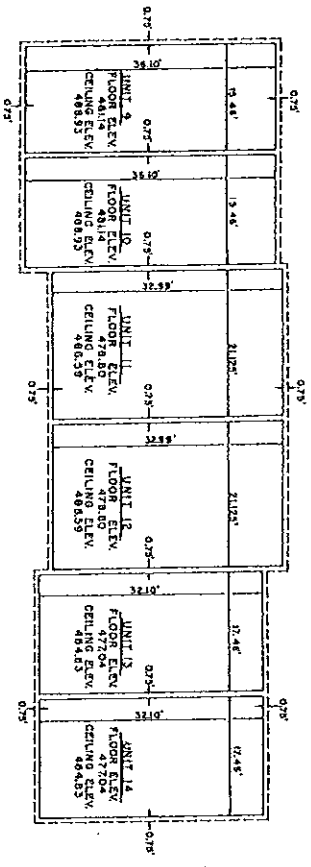


BUILDING "B"

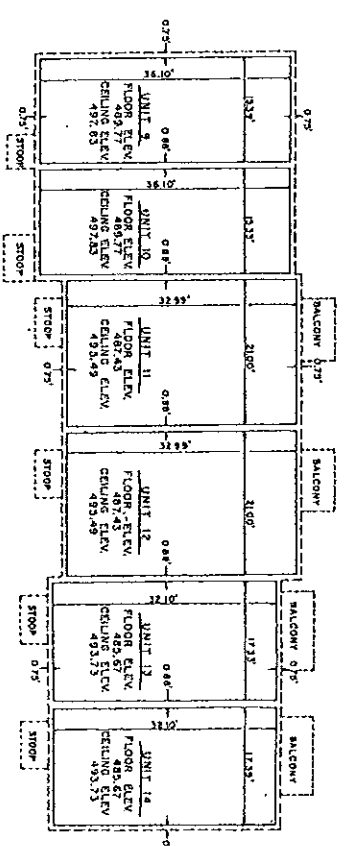
OWNER & DEVELOPER
FOURTH AVENUE CORP
335 LINCOLN AVENUE, S.W.
LEWISVILLE, VA 22082

DATE: 11.1.13
SHEET: 041.2

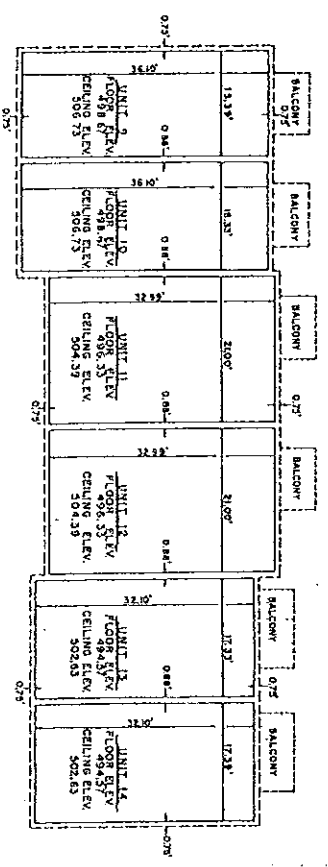
THE LANTY COMPANY
CONDOMINIUM UNITS



BASEMENT FLOOR PLAN
BUILDING "C"



FIRST FLOOR PLAN
BUILDING "C"



SECOND FLOOR PLAN
BUILDING "C"

- NOTES
1. EACH CONDOMINIUM UNIT CONSISTS OF THE SPACE BOUNDED BY A VERTICAL PROJECTING LINE OF THE COMMONHOLD UNIT BOUNDARY LINES SHOWN AND BY THE HORIZONTAL BOUNDARY LINES AT THE FLOOR AND CEILING ELEVATION NOTED THEREON.
 2. ELEVATIONS SHOWN IN FEET ARE BASED UPON U.S.C. 8.55 MEAN SEA LEVEL DATUM, FLOOR, CEILING AND CEILING ELEVATIONS ARE REFERRED TO THIS DATUM.
 3. CONDOMINIUM UNITS HAVE THE FOLLOWING ELEVATIONS:
FLOOR ELEVATION SEE FLOOR PLANS
CEILING ELEVATION SEE FLOOR PLANS
 4. ALL INTERSECTIONS OF CONDOMINIUM UNITS ARE 90° ANGLES.
- LEGEND:
 --- BOUNDARY OF COMMON ELEMENTS
 --- BOUNDARY OF LIMITED COMMON ELEMENTS

BUILDING "C"
 OWNER & DEVELOPER
 FOURTH AVENUE CO
 378 LINDEN STREET, 2
 LOUISVILLE, KY 40202
 DATE: 04/11/00

THE LANTZ CO.
 1616
 1616 GARDINER LANE
 CO. JUMM UNITS
 1616 GARDINER LANE
 LOUISVILLE, KY 40202

